

N2

APPROX. POSITION OF FUTURE POOL BY OWNERS. EXCAVATION TO BE MIN. 1800mm FROM HOUSE FOUNDATIONS. TO BE INSTALLED AFTER SITE CUT OF HOUSE. OWNER TO PROVIDE A POOL COMPLIANT STRUCTURAL PLATFORM SUITABLE FOR USE AS A WORK PLATFORM OVER THE ENTIRE POOL FOR THE ENTIRE DURATION OF CONSTRUCTION. KEEP ALL PIPES CLEAR. (NOT PART OF THIS APPLICATION)

LANDSCAPE AREA (BY OWNER) (MIN.159m2)

CONCRETE SLEEPER RETAINING WALL AS NOMINATED BY OWNER. SUBJECT TO ENGINEERS DETAILS & LOCAL AUTHORITY RESTRICTIONS.
-300H AT MAX. CUT POINT BASED ON APPROX. 869 FROM INSIDE FACE OF WALL TO BRICKWORK (A)
-APPROX. 350 FROM INSIDE FACE OF WALL TO BOUNDARY (B)
-ALL WORKS BY OWNER.
(NOT PART OF THIS APPLICATION)
PLEASE NOTE: RETAINING WALL HEIGHTS TO BE CONFIRMED BY OWNER AFTER SITE CUT. PLEASE NOTE: SHOULD DISTANCE (A) BE REDUCED DUE TO THE STRUCTURAL THICKNESS OF THE WALL ETC. ALL ADDITIONAL SITE MANAGEMENT COSTS WILL BE CHARGED TO OWNER BY WAY OF VARIATION TO CONTRACT.

BUILDING ENVELOPE

CONCRETE SLEEPER RETAINING WALL AS NOMINATED BY OWNER. SUBJECT TO ENGINEERS DETAILS & LOCAL AUTHORITY RESTRICTIONS.
-600H AT MAX. FILL POINT BASED ON APPROX. 969 FROM INSIDE FACE OF WALL TO BRICKWORK (A)
-APPROX. 250 FROM INSIDE FACE OF WALL TO BOUNDARY (B)
-ALL WORKS BY OWNER.
(NOT PART OF THIS APPLICATION)
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SEWER LINE LOCATION

CAPPED SEWER CONNECTION POINT

HENDY

BENCHMARK
NAIL IN TOP KER
R.L. = 17.88

DP 25715³

DP 25715²

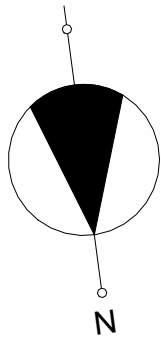
DP 25715²

DP 26037³¹

PROPOSED RESIDENCE

AVENUE

PROVIDE AND MAINTAIN SEDIMENT CONTROL DEVICES IN ACCORDANCE WITH COUNCIL'S DCP PART E1 - DEMOLITION AND CONSTRUCTION, AND AROUND INLET PITS AND SOIL STOCKPILE. REFER DETAILS SHEET 3.
*DO NOT STOCK PILE MATERIALS ON PUBLIC FOOTWAYS AND ROADWAYS.
*REMOVE ALL SOIL & OTHER MATERIALS WHICH HAVE BEEN SPILT ONTO PUBLIC FOOTWAYS, GUTTERS & ROADWAYS WITH A SHOVEL AND BROOM AT THE END OF EACH DAYS WORK.
*PROVIDE TOPSOIL & RE-TURF ALL DISTURBED OR DAMAGED GRASS AREAS.



NOTE: - SEDIMENT FENCE TO OUTSIDE OF FILL

NOTE: - SEDIMENT FENCE

NOTE: - DENOTES 250 X 250 SURFACE WATER GRATE CONNECTED TO SEPARATE STORMWATER PIPE
SWG

NOTE: - DENOTES 100mm DIA P.V.C STORMWATER PIPE

NOTE: - EARTHERN SPOON DRAIN

NOTE: - USE TEMPORARY DOWNPIPES

NOTE: - TEMPORARY FENCING

NOTE: - CLAMP ON TEMP. FENCING

NOTE: - SURFACE WATER GRATES TO BE LOCATED TO CENTRE OF SPOON DRAIN

NOTE: - PLACE FILL AROUND THE PERIMETER OF THE CONCRETE SLAB (IMMEDIATELY FOLLOWING SLAB POUR) TO DIVERT WATER AWAY FROM FOUNDATIONS.

NOTE: - ROOF WATER CATCHMENT AREA

3000L STEEL SLIMLINE ABOVE GROUND WATER TANK. 1 x DROPPER'S 4 x DOWNPIPE'S COLLECTING 80 m² OF ROOF WATER INTO TANK. TANK OVERFLOW DISCHARGED TO STORMWATER SYSTEM. TANK ON STRUCTURAL CONC. SLAB.

SLEEPER UNDER FENCE BY OWNER

(NOT PART OF THIS APPLICATION)
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AIRCON SLAB FLOOR TRAP CONNECTED TO SURFACE WATER GRATE LINE

COMPACT WALL MOUNTED CLOTHESLINE

FLOOR SPACE RATIO (FSR) = 0.5:1

GROSS FLOOR AREA / SITE AREA = FSR

247.69 m² / 495.40 m² = 0.50:1

GROSS FLOOR AREA

(MEASURED FROM INTERNAL FACE OF EXTERNAL WALLS; EXCLUDING PORCH, OUTDOOR ROOM, GARAGE & STAIRS VOID)

GROUND FLOOR AREA TOTAL: 247.69 m²

GROSS SITE AREA: 495.40 m²

LANDSCAPE AREA: 159.00 m²

LANDSCAPE PERCENTAGE: 32.10%

POWER CONNECTION POINT

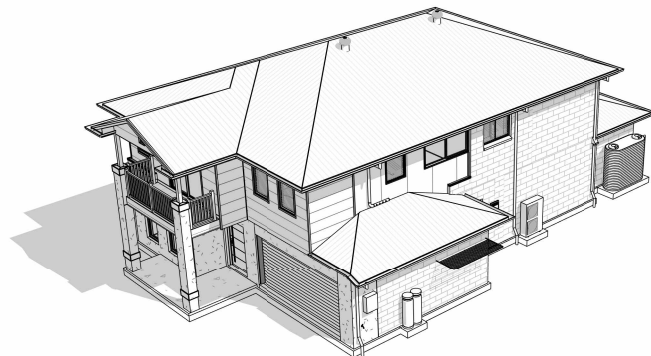
WATER CONNECTION POINT

COMMS CONNECTION POINT

55 m² APPROX. POSITION OF REINFORCED EXTERNAL BROOM FINISHED CONCRETE DRIVEWAY AND PORCH BY CORAL HOMES. ALL WORKS TO SUIT COUNCIL REQUIREMENTS. REFER DETAILS SHEET 3.

TREE TO BE REMOVED BY OWNER

STORMWATER DISCHARGE TO ROOFWATER OUTLET



CONTOUR

CLIENT

K. J. SHARAN & S. W. WISE

ADDRESS

LOT 32 HENDY AVENUE
PANANIA NSW 2213

DESIGN

BOSTON 38

FACADE

HAMPTONS BALCONY

PLAN

SITE

SITE COST OPTION: 16/09/2022

SURVEYOR NO: 22392

PROPERTY DESCRIPTION

ON: DP 26037

LOCAL AUTH: CANTERBURY BANKSTOWN CITY COUNCIL

AREAS

LAND 495.4 m² SITE COVERAGE 40.43%

SITEWORKS

NOTE: PLATFORM HEIGHT & RETAINING CAN VARY DUE TO SITE CONDITIONS

CUT: 0.52

PAD AHD: 19.030

FILL: 0.58

SLAB AHD: 19.430

CRITICAL PAD LEVEL

☒ NO ☐ YES

CONDITIONED AREAS

	Area (m ²)
CONDITIONED AREA (LOWER)	116.02
UNCONDITIONED AREA (LOWER)	10.79
CONDITIONED AREA (UPPER)	134.85
UNCONDITIONED AREA (UPPER)	5.54

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SIGNATURE

PROPRIETOR
SIGNATURE

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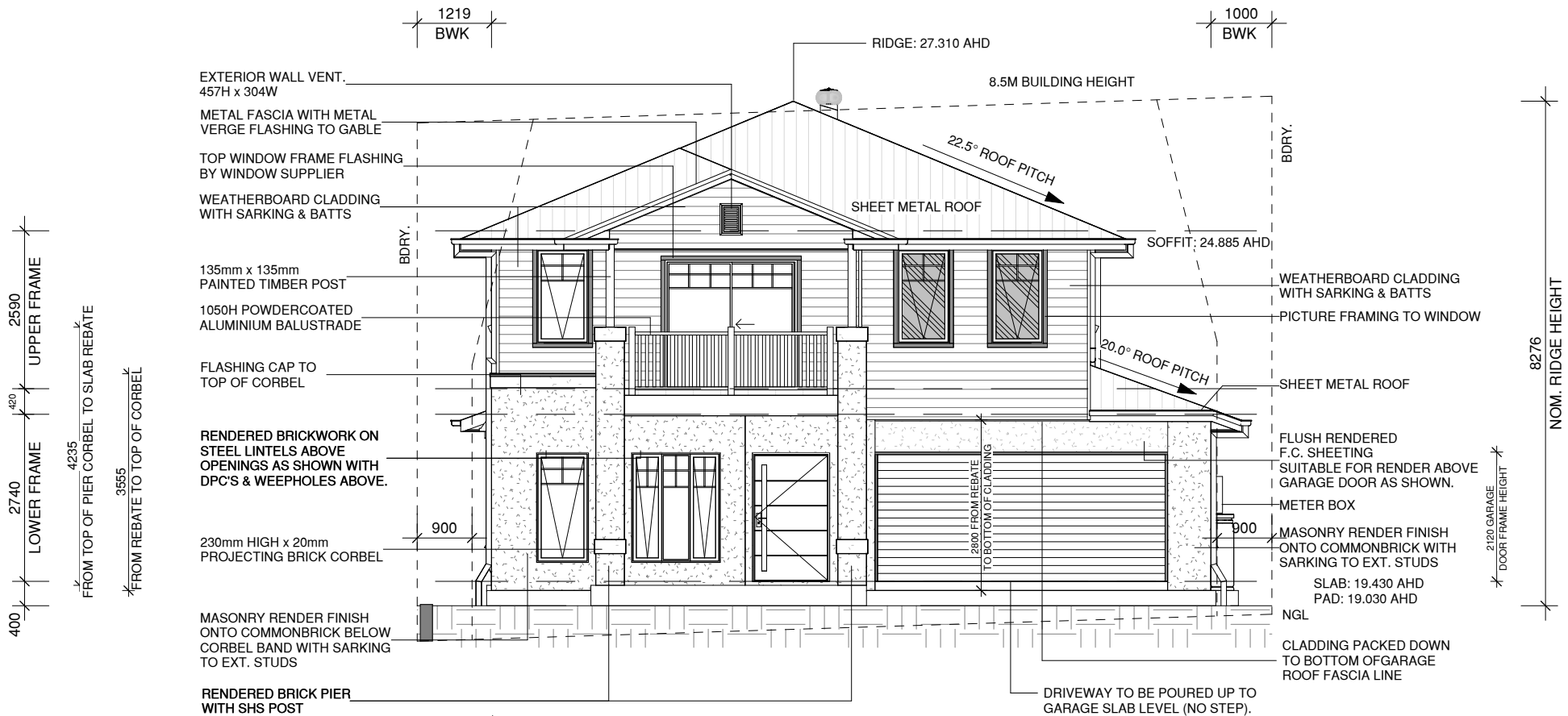
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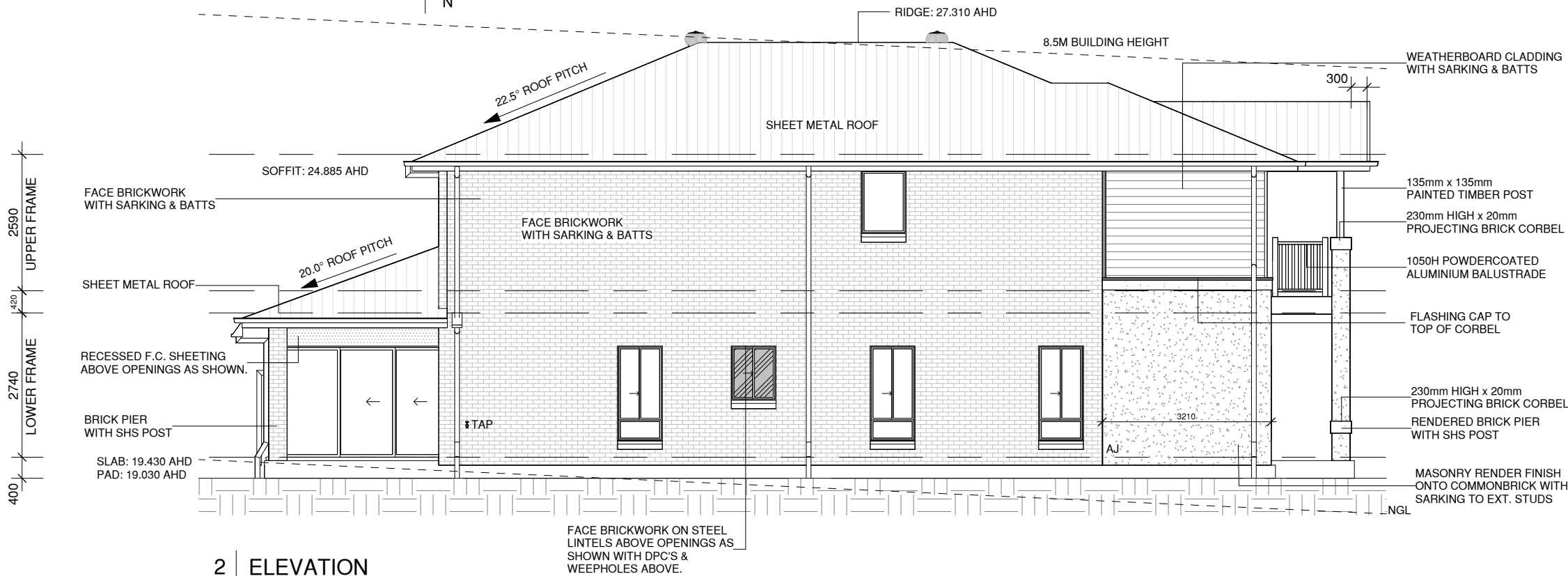
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ALL WINDOWS TO BE RAISED
FLUSH WITH SOFFIT.



1 ELEVATION

N



2 ELEVATION

E

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FACADE

HAMPTONS BALCONY

PLAN

ELEVATION 01

GLASS TYPE LEGEND

- CLEAR
- CLEAR TOUGHENED
- OBS - OBSCURE
- TINT - STANDARD
- TINT - DARK
- CLEAR TOUGHENED - TINT STANDARD

MATERIAL TYPE LEGEND

- FACE BRICKWORK
- FEATURE BRICKWORK
- RENDERED BRICKWORK
- BAG N PAINT BRICKWORK
- PAINTED FC SHEET
- RENDERED FC SHEET
- AAC PANEL

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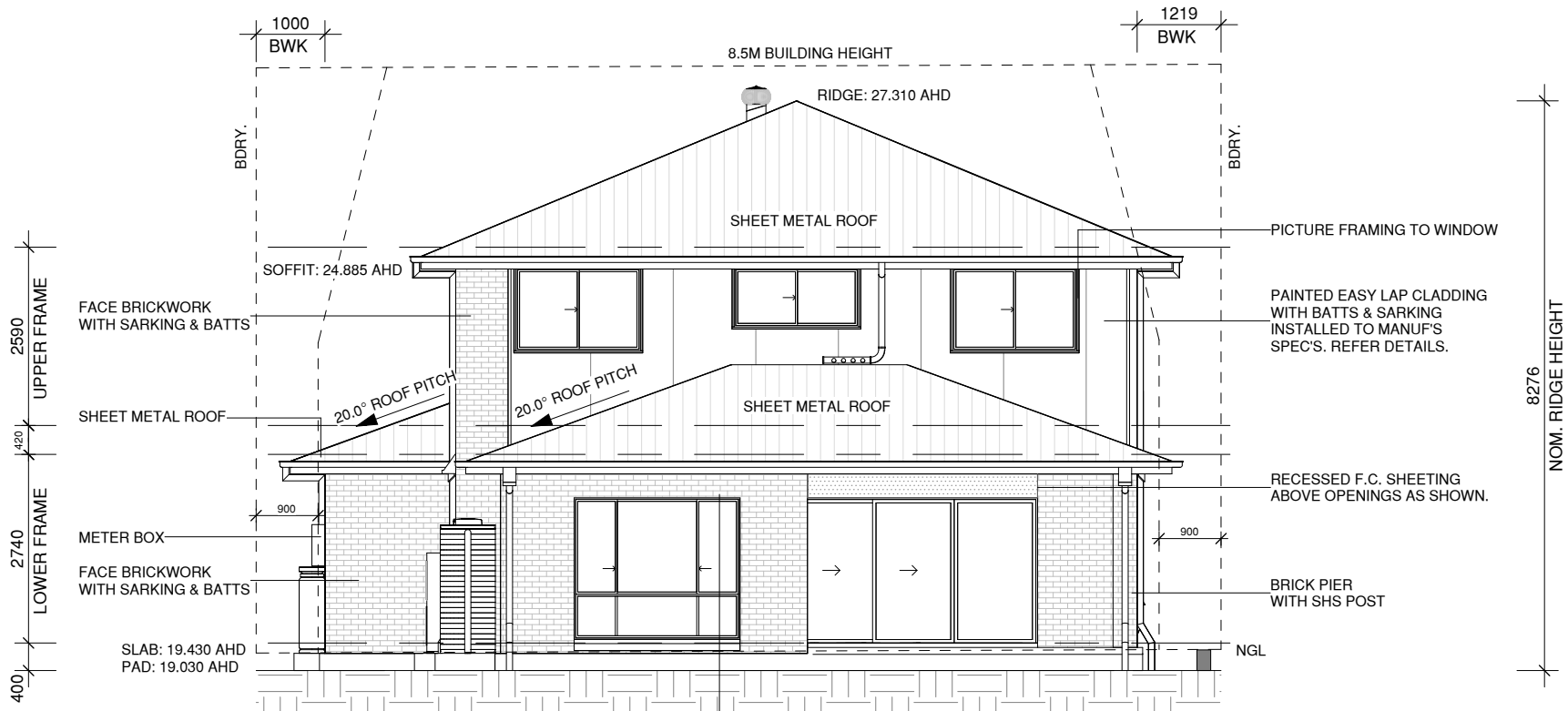
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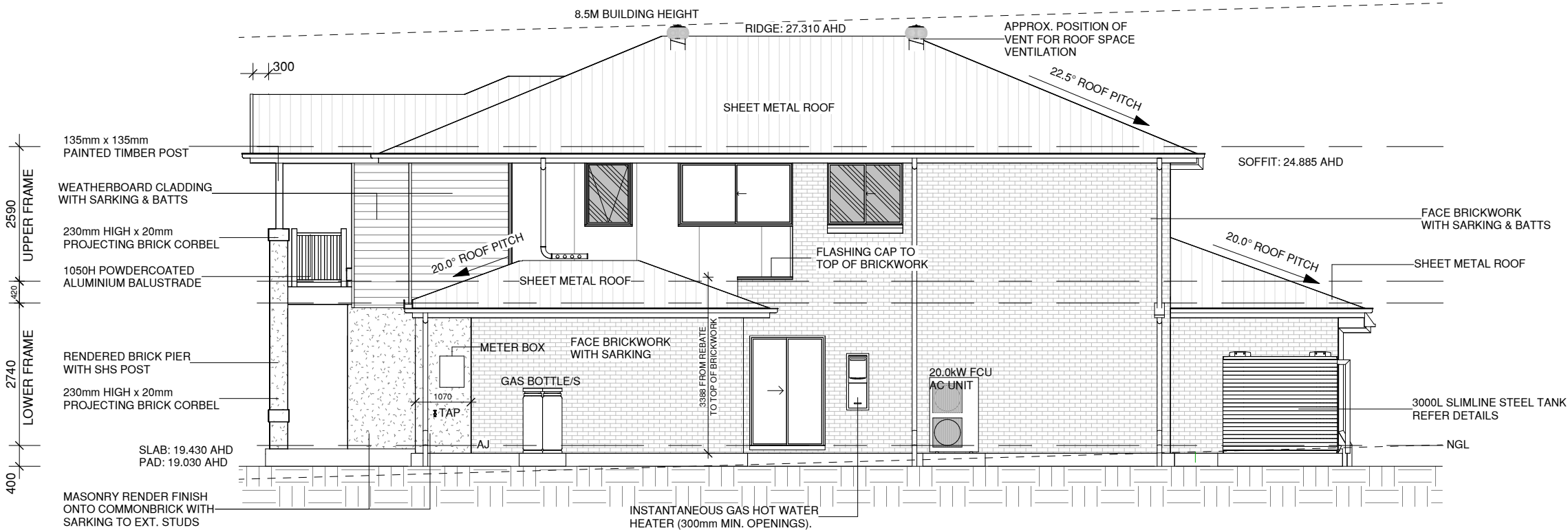
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ALL WINDOWS TO BE RAISED
FLUSH WITH SOFFIT.



3 ELEVATION

S



4 ELEVATION

W

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DESIGN

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FACADE

HAMPTONS BALCONY

PLAN

ELEVATION 02

GLASS TYPE LEGEND

- CLEAR
- CLEAR TOUGHENED
- OBS - OBSCURE
- TINT - STANDARD
- TINT - DARK
- CLEAR TOUGHENED - TINT STANDARD

MATERIAL TYPE LEGEND

- FACE BRICKWORK
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